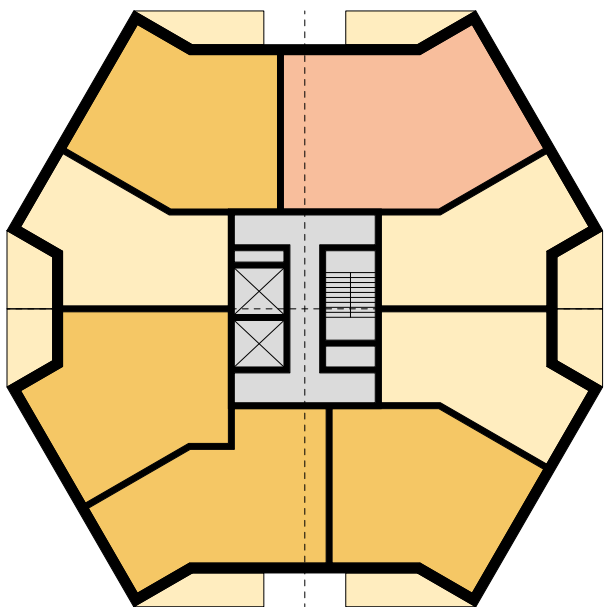
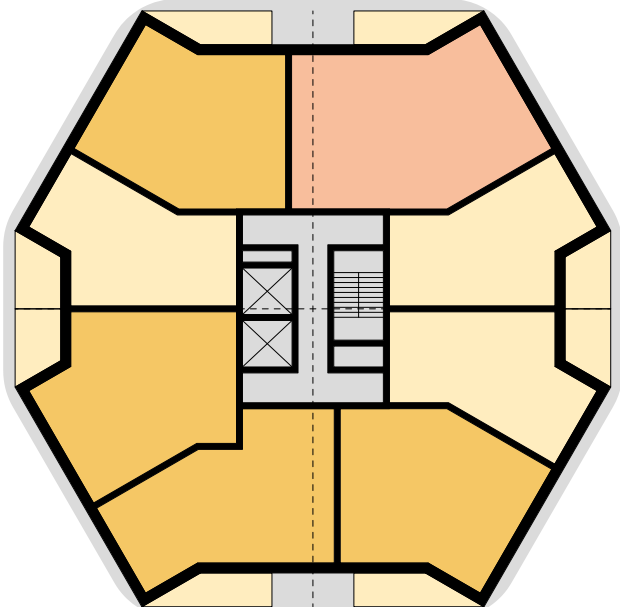


Iterative Testing of Plan Typologies



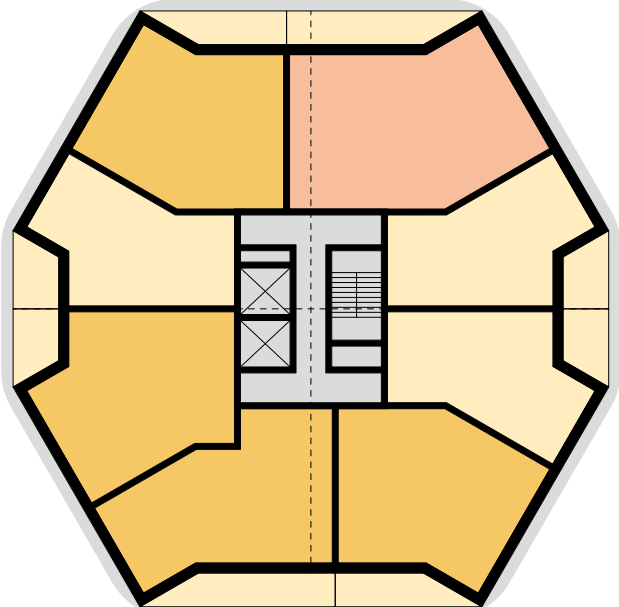
1 - A Typical Plan

Base typology for all following plans. External wall positions and layouts remain the same throughout typologies.

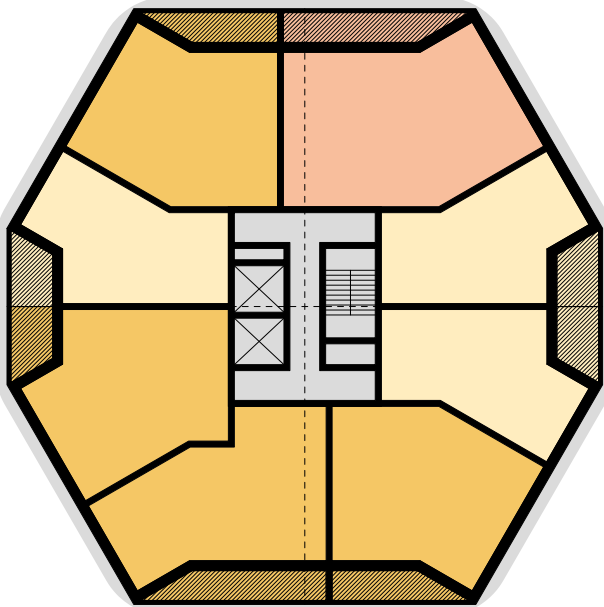


2 - Extended Floor Slab

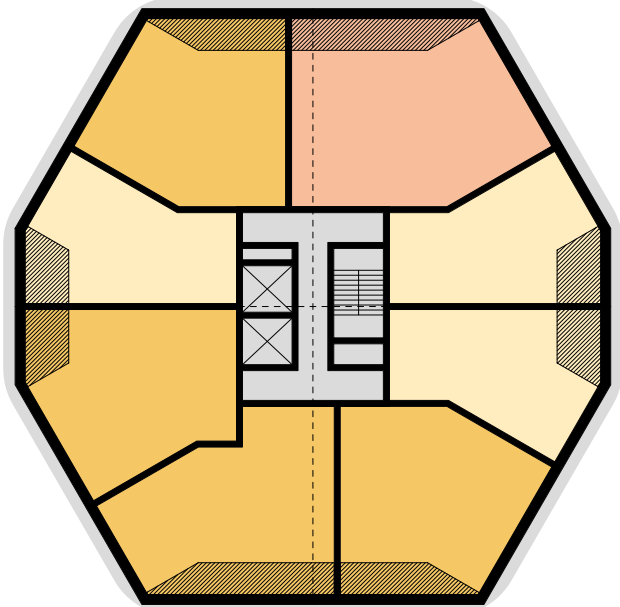
Accentuated horizontal element that adds flow to the building



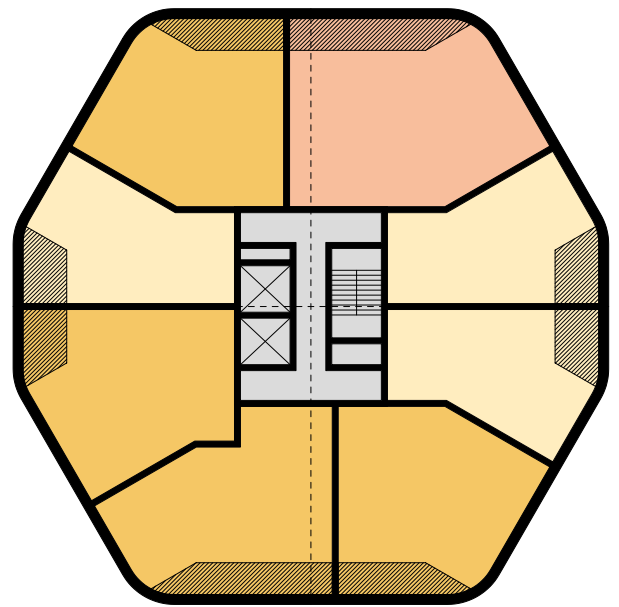
3 - Extended Balconies



4 - Winter Gardens



5 - Oversized Homes



6 - Softer Edges

3.4.7 15/04/20 LB Barnet Pre-App Meeting (Massing Articulation & Townscape)

The following considerations were focused on:

- Massing Change recap and articulation
- Context and access
- Townscape views
- Façade development
- Townhomes

Key feedback included:

- Massing change recap and articulation:
 - Massing typology evolution and rationale, from hexagonal couplets to octagons clarified
 - Massing development on stepped roof and podium level cutaways investigated, and final options chosen. Each building to have two roof terraces
 - Heights and massing development, as well as massing sculpting supported
- Context and access
 - Council support of the new third access point to podium
 - Scheme design recognised as responsive and fitting within the wider emerging context
- Townscape views
 - Building A and western podium to review setback to align with emerging development
- Façade development
 - Interchanging balconies and extended homes creates a staggered and varied façade, which is supported
- Townhomes
 - The articulation of the podium building line improves of the quality of townhomes as dual aspect

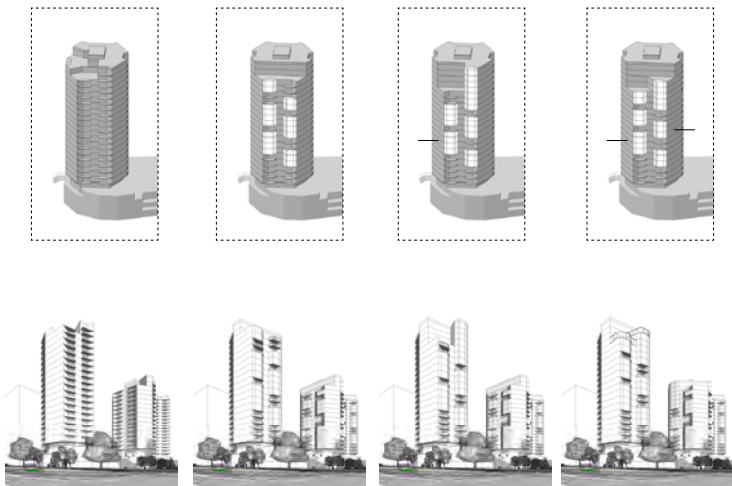


Fig.62 . Multiple options for roovescape presented

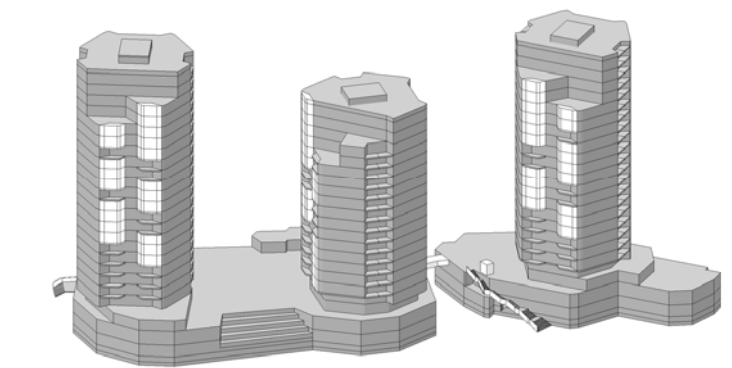


Fig.63 Building articulation and heights supported



Fig.64 Appearance studies from Edgware road point of view - staggered arrangement supported

Breaking Down the Façade Treatment

More Balconies



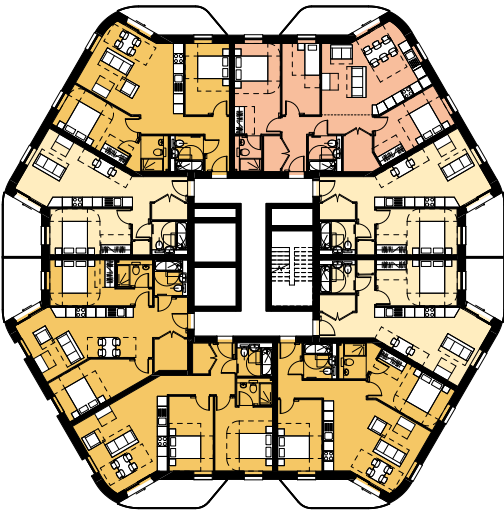
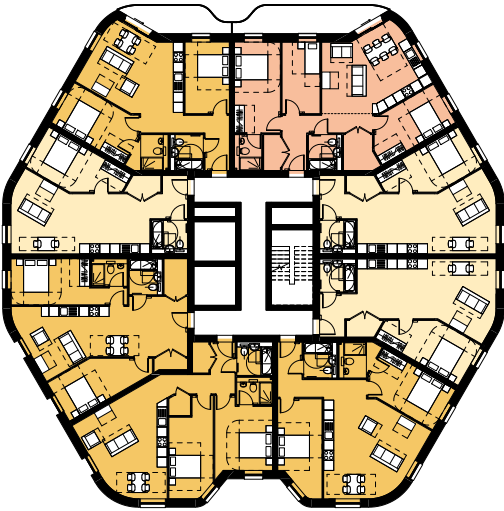
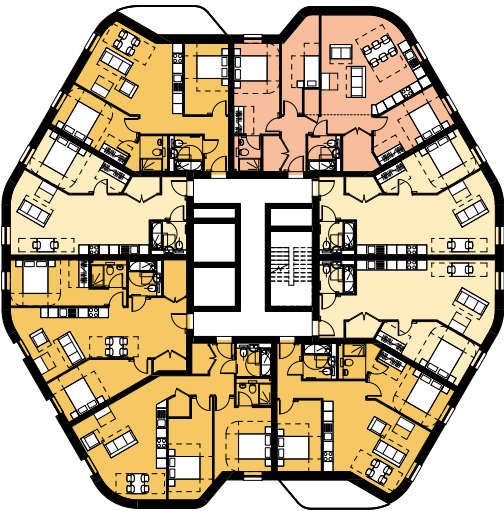
Homes with internalised private amenity space



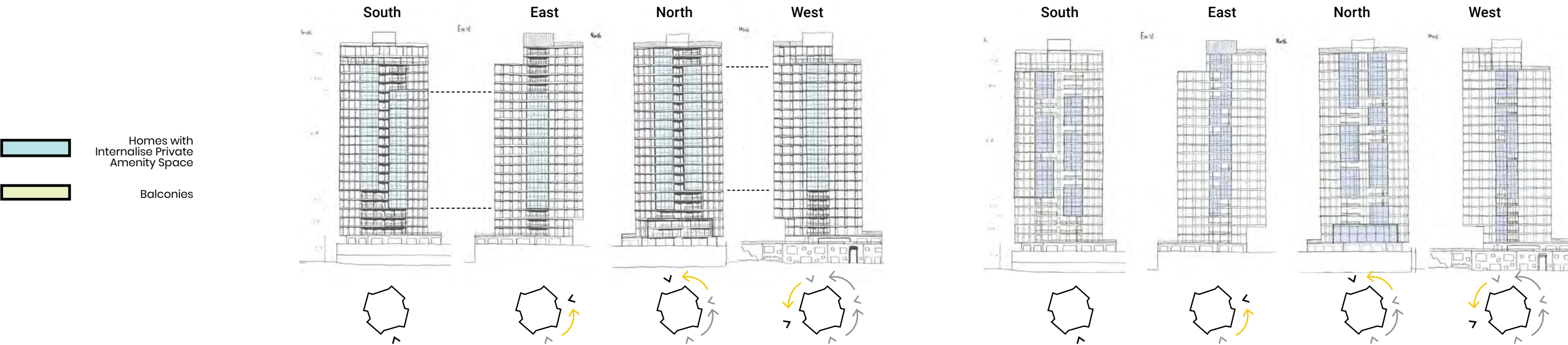
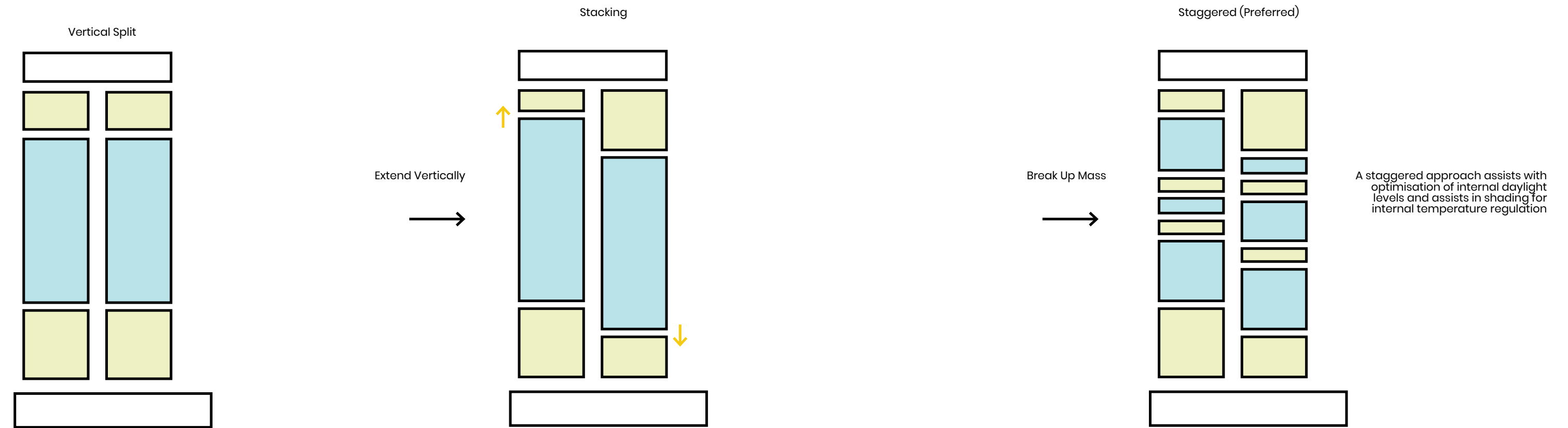
More Balconies



Every Flat Typology Allows for Dual Aspect Homes



Breaking Down the Façade Treatment



Stacking



Staggered (Preferred)



Reviewing the building position within key townscape view locations:



3.4.8 07/05/20 LB Barnet Pre-App Meeting (Appearance & Housing)

The following considerations were focused on:

- Appearance
 - Aesthetics
 - Articulated Skyline
 - Daylight and Sunlight
 - Ventilation and Comfort
 - Outlook and Views
 - Building Materials and Efficiencies
 - Maintenance and Servicing
- Edgware Podium Setback
- Open Space Experience
- Affordable Housing
- Home Aspects
- Cycle and Car Parking

Key feedback included:

- Appearance
 - Overall appearance supported
 - Support for the cohesive characteristics of different sections of the proposal - shaft types, colours, textures
 - Floor to ceiling window systems with generous extents received positively and noted to enhance internal daylight and sunlight within living space
 - Support for passive design measures that contribute to the ventilation and comfort of homes - the use of protruding bands that act as brise soleil, breathable sliding window systems for cross flow, deep window reveals and a series of inset balconies
 - Support for the generous views to key outlooks and residential amenity spaces provided on the roof

- Support for materials proposed. Consideration of modular construction in due course
- Support for materials that are durable and robust so that they will weather well
- Support for low nutrient substrates for planting
- Edgware Road Podium Setback
 - Support for new Building A and western podium setback along Edgware Road - allows even better pedestrian conditions along Edgware Road
- Open Space Experience
 - Support for the proposed landscape strategy and overall narrative of the open space experience
 - Support of natural and healthy streetscape created by the active frontage and rockery. Moments of visual hints also draw attention to the raised public landscape.
 - Support for the 3 gateways which lead up to the raised public open space
- Affordable Housing
 - Support for the housing mix proposed
- Home Aspects
 - Support for the overall delivery of dual aspect homes across the scheme
- Cycle and Car Parking
 - Support of a slightly reduced car parking ratio
 - Support for public cycle parking provision at the base of the 3 gateway entries

Understanding the existing architectural character.

Relevant architectural details to influence the Site appearance:

- Variegated brick colour tones with aged appearance
- Framed and recessed primary entrances
- Active and highly glazed active streetscape
- Articulated roofscape
- Earth colour tones
- Contrasting white band detailing



Welsh Harp Bridge Hendon Reservoir



Church of St John



Golders Green Town Centre



Ashton Lodge



Premiere Inn



The Rushgroves - Phase 1



Royal Mail



Magistrates Court

Fig.65 Existing Precedents – Architectural Character

Understanding the emerging architectural character.

Relevant architectural details from the Silk Park proposal to influence the Site appearance:

- Framed and recessed primary entrances
- Two storey podium datum
- Active and highly glazed active streetscape
- Variegated roofscape
- Earth colour tones - cohesive colour blend
- Fenestration grid
- Contrasting horizontal white banding with integrated balconies
- Two-storey fenestration patterns at building top
- Defined roof terraces with expressive parapet
- Masonry materiality

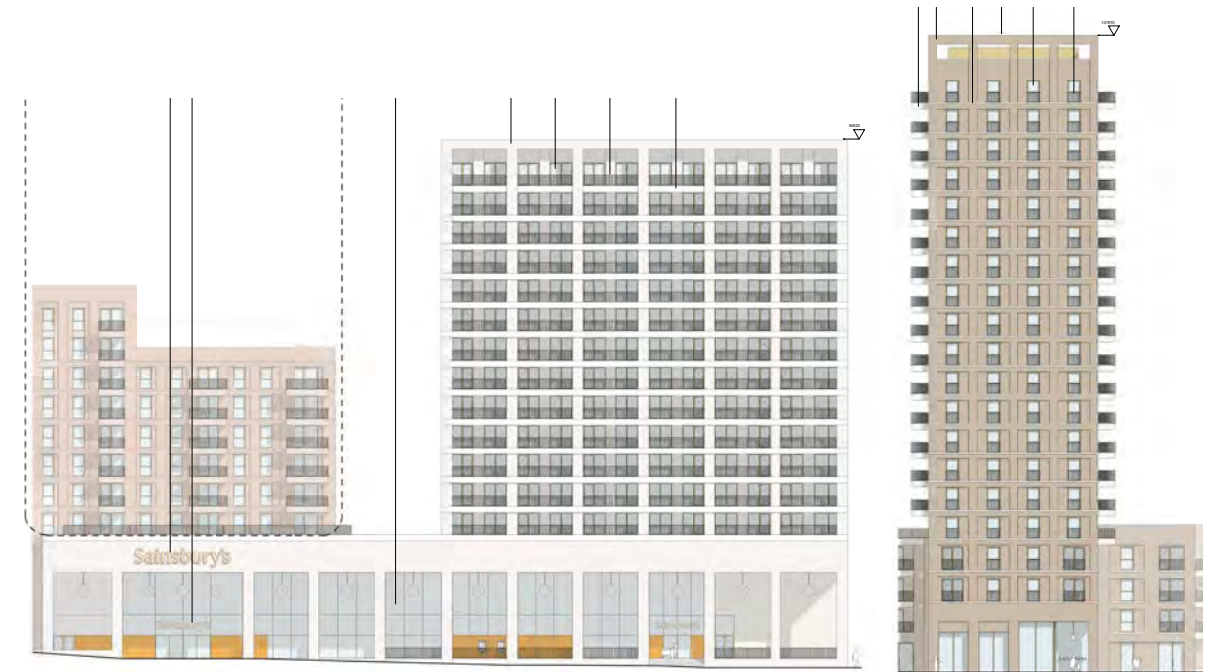


Fig.66 Elevations of Silk Park to the South of Application Site



Relevant landscape details from the surrounding development at Silk Park to influence the Site appearance:

- Street trees
- Rain gardens
- Block paving with mix colour blend
- Hedge and shrub planting
- Species rich lawn
- Bound surfacing
- Granite strips
- Feature granite paving

| | | |
|--|---|--|
|  Application boundary |  Species rich lawn |  Granite sett rumble strips |
|  Existing trees and vegetation |  Granolithic block paving (light/dark mix) |  Feature granite paving |
|  Proposed trees |  Granolithic block paving (dark mix) |  Flag paving to LPA highway standards |
|  Proposed hedge planting |  Resin bound surfacing (Colour: Dark grey) |  Bitumen macadam |
|  Proposed shrub planting |  Asphalt (Colour: Buff) | |

01. Silk Garden
02. Ox-bow lake water feature
03. Equipped play area
04. 'Roman Road' tree lined path
05. Quiet garden & shade pergola
06. Cafe / restaurant 'Al fresco' (opportunity)
07. Street trees & rain gardens planted for biodiversity
08. SUD's pond feature
09. Silk Stream Walk & emergency service route
10. The Hyde Gateway
11. Tower piazza
12. Site access road
13. Delivery bay
14. Van/ scooter drop
15. Accessible parking bays
16. Car club bay
17. Potential future bridge landing spot (safeguarded space)



-  Proposed trees
-  Proposed rain gardens
-  Granolithic block paving (dark/light mix)
-  Bitumen macadam
-  Flag paving to LPA highway standards



Tilia cordata 'Rancho'



Granolithic block paving
Colour: Light/Dark mix with
pavement banding
[To public realm landscape]



01. Street trees & rain gardens planted for biodiversity
02. 2m wide footway adjacent to kerbline
03. Site service access
04. Supermarket delivery access
05. Supermarket customer access
06. Accessible parking bay
07. Car club parking bay
08. Delivery bay

Fig.67 Landscape Materiality of Silk Park to the South of the Site

Relevant architectural details from the BT Telephone Exchange scheme to influence the Site appearance:

- Framed and recessed primary entrances
- Variegated roofscape
- Earth colour tones complimented by brighter accent colour tones
- Fenestration grid
- Hierarchy of horizontals and verticals within the brick grid
- Masonry materiality with metal accents



Fig.68 Elevations of The BT Telephone Exchange Site to the North of the Site

Relevant landscape details from the BT Telephone Exchange scheme to influence the Site appearance:

- Street trees
- Rain gardens
- Block paving with mix colour blend
- Shrub planting
- Green roofs



Fig.69 Landscape Materiality of The BT Telephone Exchange Site to the North of Application Site

Relevant architectural details from the Rushgroves scheme to influence the Site appearance:

- Variegated and articulated roofscape
- Earth colour tones - cohesive colour blend
- Townhome articulation and individual expression of homes
- Expressive balconies
- Ribbed and textured cladding

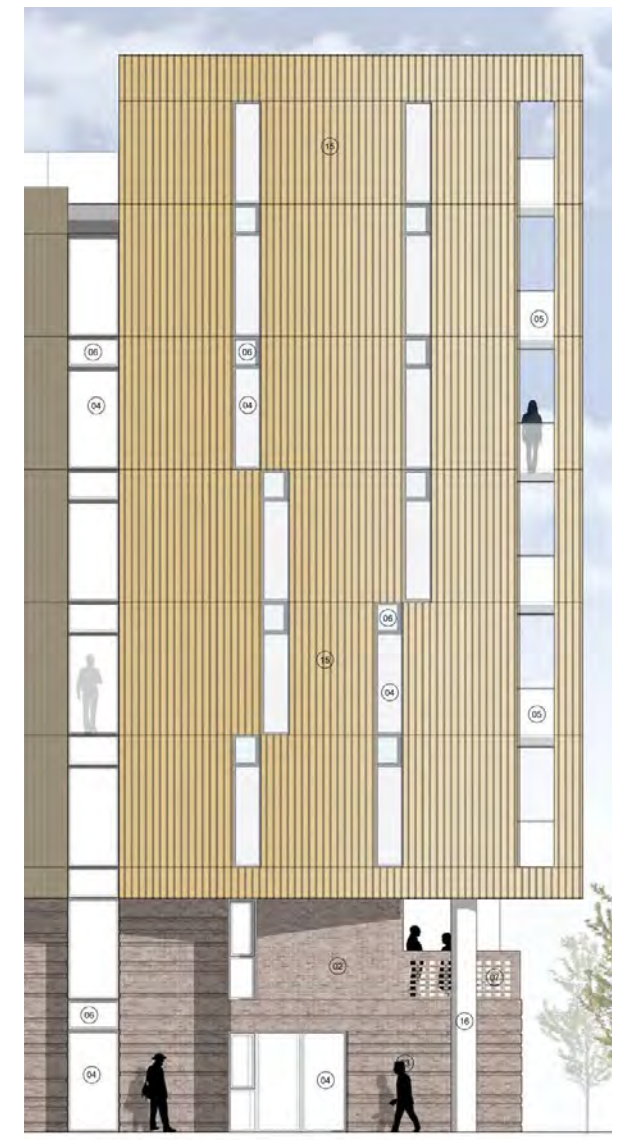


Fig.70 Elevations of The Rushgroves Site to the North of Application Site

Integrating the architectural & landscape relevant details within the Site appearance through unique but complementary composition:

- Colour Tone:
 - Variegated masonry colour tones with aged appearance
 - Cohesive earth colour tones complemented by brighter accent colour tones
 - Contrasting horizontal white banding with integrated balconies
- Streetscape
 - Two storey podium datum
 - Framed and recessed primary entrances
 - Active and highly glazed active streetscape
 - Townhome articulation and individual expression of homes
- Roofscape
 - Defined roof terraces with expressive parapet
 - Variegated and articulated roofscape
- Shaft
 - Fenestration grid
 - Hierarchy of horizontals and verticals within the brick grid
 - Two-storey fenestration patterns at building top
- Materiality
 - Masonry materiality with metal accents
 - Expressive balconies
 - Ribbed and textured cladding



Fig.71 Preferred colour approach and general arrangement



Fig.72 Preferred colour approach



Fig.73 Colour testing on elevations

Arrangement Testing of the building base:



Fig.75 Bay Studies – 3 storey base (corner of Edgware Road and Hyde Estate Road) **Fig.74** Bay Studies – 2 storey base and 3 storey building inset (along Edgware Road)

Materiality testing of the building base:



Arrangement Testing of the building base (townhomes):

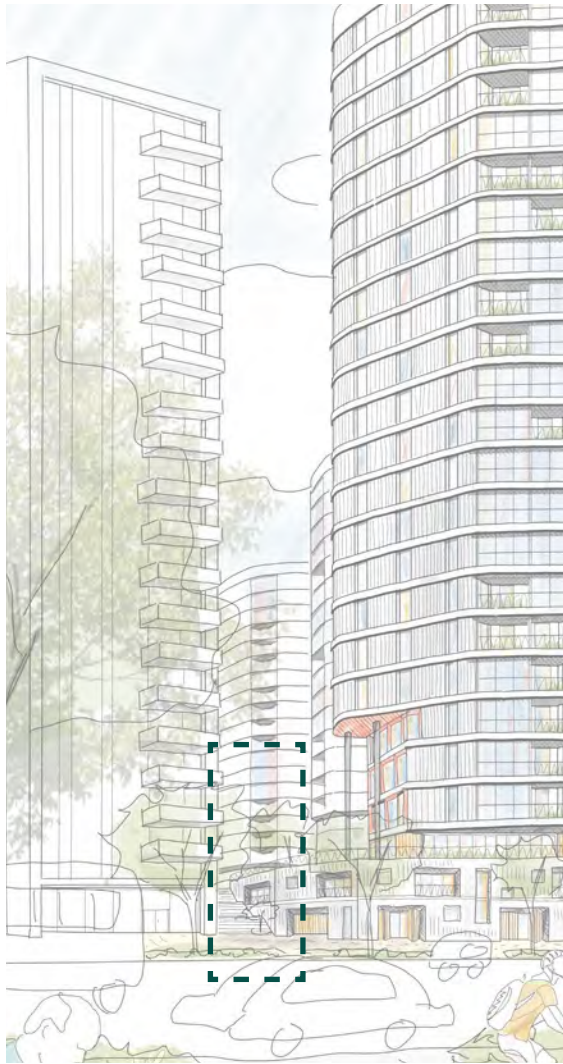


Fig.76 Bay Studies – Townhomes

Materiality testing of the building base (townhomes):



Car Park Ventilation Louvres with Green Climber



Accent Metal - PPC Aluminium
Brown Brass Colour



Slanted Opening Frames



Banding Between Units



Fenestration testing of the building shaft:

